



Summary Only

Property Address:
123 America St
Tampa FL



**House 2 Home Inspections Services Inc.
Robert Erenberg
6225 Tigerflower Court
Land o Lakes, FL 34639**

This is not the complete home inspection report. It is only the Summary Items.

Action Items



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1. Introductory Notes

1.6 OVERALL BUILDING CONDITIONS

Inspected

Based on the inspector's observations, this building is of standard quality typical for a building this age. Typical wear and tear can be expected throughout the home consistent with the age of the home. The home needs only routine maintenance and minor repairs as described in this report.

3. Exterior

3.10 EAVES, SOFFITS & FASCIAS

Inspected

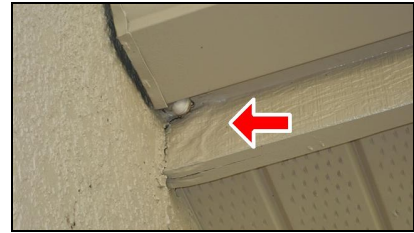
Repair the area of wood decay at the fascia boards at a few areas around the roof. We recommend you have a qualified technician further evaluate and advice. Replacement of affected materials is considered the best solution for long term performance of repair and plastic moldings are available for even better protection - (Contractor should review for additional damage and probe where suspect to insure that all damage is identified and replaced). Fillers are discouraged but are commonly used in repairs of smaller areas where replacement would be difficult. Fillers should be done by experienced tradesmen and warrantee for a reasonable length of time. Be sure to caulk, prime, and paint these areas once the repairs are complete to prevent recurrence and to match existing finishes.



3.10 Item 1(Picture) wood decay



3.10 Item 2(Picture) Wood decay



3.10 Item 3(Picture) Wood decay



3.10 Item 4(Picture) Wood decay

4. Roofing

4.2 SHINGLE ROOF COVERINGS

Inspected

(2) There are a few scattered locations on the roof surfaces where the roofing nails in the shingles were either driven in crooked when installed or have started to back out of the roof sheathing due to changes in temperature and expansion and contraction of the materials. These nails are now "popping" through the shingle surface and repair is needed to prevent water intrusion and damage. Any exposed fastener is a leak source. The only practical cure (short of replacing the affected shingles) is to hammer down the nail and seal over the exposed fasteners. A qualified roofing contractor should do the job. The sealant typically needs to be monitored and renewed as needed to lessen the likelihood of leaks.



4.2 Item 7(Picture) Nail pop



4.2 Item 8(Picture) Nail pop

13. Laundry

13.3 CLOTHES DRYER VENT

Inspected

The dryer vent hood on the roof is very clogged with lint which is significantly restricting the air flow and operation of any vent flap. Have a professional duct cleaning service clean the hood, and since the vent has been restricted for an unknown period of time, they should also clean the entire vent system, flexible vent hose behind the dryer, and check the vent port on the dryer itself to insure that there is proper air flow and operation of the dryer and to eliminate a fire hazard. Then, be sure to clean and maintain the lint build-up from the dryer vent hood on a regular

basis (time between cleaning depends on individual use) to allow proper air flow and operation of the dryer. Improper maintenance of the dryer vent hood can create a fire hazard



13.3 Item 1(Picture) Clean dryer vent hood



13.3 Item 2(Picture) Clean dryer vent hood

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Consideration Items



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1. Introductory Notes

1.1 IMPORTANT CLIENT INFORMATION

Inspected

(1) Any deficiency discussed in this report should be carefully considered by the client and reviewed with the real estate agent as appropriate. Because a report of a deficiency is often based on the experience of the inspector using visual clues, it should be understood more extensive problems can be present which can be more costly to resolve than simply correcting the visible symptoms. Further, it is beyond the scope of this inspection to list every instance of similar deficiencies. The inspector's notation of any given deficiency should be interpreted such that additional similar defects may be present or more extensive. Any reported deficiency may require additional investigation to better determine the number of similar defects and related problems in order to make an informed decision. Consult with your inspector and/or agent to gain a comfort level about any defect cited in this report. As needed, consult an appropriate contractor who can provide a detailed list of deficiency locations, specifications and costs of repairs before closing escrow.

1.4 PICTURES

Inspected

Any pictures included in this report are not meant to represent every defect that has been found. There may be action items that do not have a picture included. Also, pictures may represent only one example location where many similar locations exist. We suggest reading the key findings to find all of the defects that have been reported on. If you have any questions on the key findings, please contact the inspector for clarification.

3. Exterior

3.2 VEGETATION

Inspected

(1) The trees and shrubs on the property should be maintained to prevent overgrowth and encroachment onto and possible damage to the structure.



3.2 Item 1(Picture) Maintain shrubs trimmed back



3.2 Item 2(Picture) Maintain shrubs trimmed back

(2) Branches from the surrounding trees are overhanging the roof, or are in contact with the roof surface. This could damage (abrade) the roof surfaces and/or provide a route onto the roof and into the attic for insects and other pests. Nearby trees should be kept pruned.



3.2 Item 3(Picture) Trim back branches

3.5 DECKS, BALCONIES, STEPS, PATIO/LANAI, RAILINGS

Inspected

The screens at the rear patio have signs of some type of white debris stuck to them. We recommend you have a qualified technician further evaluate and clean as needed.



3.5 Item 1(Picture) Screened in rear patio



3.5 Item 2(Picture) DEbris on screens



3.5 Item 3(Picture)

3.9 WINDOWS

Inspected

Maintain the caulk around the exterior perimeter of the window frames with a high quality caulk to prevent moisture intrusion.

4. Roofing

4.2 SHINGLE ROOF COVERINGS

Inspected

(1) The roof surfaces are showing some signs of age and appear to be past mid life. There is typical to heavy granular loss across the roof's surface. We recommend you have a qualified roofing technician further evaluate and advice on any necessary roofing repairs.



4.2 Item 1(Picture) Roof mid life



4.2 Item 2(Picture) Granular loss



4.2 Item 3(Picture) Granular loss



4.2 Item 4(Picture)



4.2 Item 5(Picture) Heavy granular loss at gable ridge



4.2 Item 6(Picture)

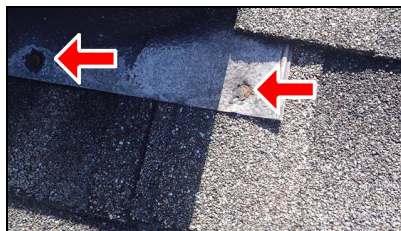
4.5 ROOF PENETRATIONS & VENTS

Inspected

The nails that attach the off ridge vent to the roof are galvanized, however, many of the nails are already rusting and corroding. I recommend the application of roofing tar or silicone caulk over these nail heads to prevent them from corroding and so they will last the life of the roof.



4.5 Item 1(Picture) Off ridge vent



4.5 Item 2(Picture) Tar over ridge vent nails



4.5 Item 3(Picture) Rusted vent nail

5. Plumbing

5.1 LIMITATIONS - WATER SUPPLY

Inspected

(3) Water treatment equipment (filter &/or softener) has been added to the main water delivery system. Evaluation of this equipment is outside the scope of this inspection. You should contact the company that installed or services the equipment, or if not available, contact a reputable water treatment company for evaluation and explanation of its features and benefits.



5.1 Item 1(Picture) Water softener beyond inspection

5.8 WATER HEATER

Inspected

(2) The temperature on the water heater is turned up past the factory setting of around 120 degrees. The time to scald is significantly reduced as the temperature setting on the unit is increased. Also, if the temperature is turned up too high, it may cause leakage from the temperature and pressure relief valve. Upon ownership, you should evaluate and adjust the temperature setting on the water heater to meet your personal needs and to maximize energy efficiency and personal safety.



5.8 Item 2(Picture) Water temperature above 120 degrees

7. Heating and Cooling

7.0 IMPORTANT CLIENT INFORMATION

Inspected

(1) HVAC systems have complex pieces of equipment. Invasive technical analysis of all components of the system is beyond the scope of this inspection. Even though there are return air filters in place, some small amounts of dirt and dust get through the filter and collect on the evaporator coils. The build-up can clog the coil and block airflow,

reducing the efficiency of the system. For greatest efficiency and service life, check and change your return air filters as needed and have an HVAC technician clean the coil and perform regular maintenance once a year.

(2)

Humidity from the interior air turns into condensation on the evaporator coils inside the air handler unit during the cooling mode. This water is carried to the exterior of the home in a 3/4 inch white PVC pipe and drips into the yard areas. This pipe was dripping normally at the time of inspection. Routine maintenance of this line by inserting bleach or white vinegar in the pipe near the air handler in the spring and summer and/or flushing out the outside end of the pipe with a hose will reduce algae growth in the pipe and help to prevent blockages and overflow of the drain collection pan.

7.2 AIR CONDITIONING/HEAT PUMP/CONDENSER UNIT

Inspected

The shrubs are too close to the air conditioning condenser unit. These units require adequate airflow across the coils to efficiently exchange temperature from the warmed refrigerant as it passes through the tubing inside. Vegetation that is allowed to grow too close to or onto the condenser housing impedes airflow, and can contribute to damage and inefficient operation of the system. Vegetation should be kept trimmed back at least 12 inches away from all sides of the condenser housing.



7.2 Item 1(Picture) Trim back shrubs

9. Garage

9.4 GARAGE DOOR OPENERS

Inspected

The garage door opener and safety return function responded properly and all related hardware appears to be in good condition. Evaluation of any remote controls and/or keyless entry system is beyond the scope of this inspection and you should obtain the units and verify operation prior to closing.

9.7 GARAGE WALLS

Inspected

Minor cracking is evident in the garage wall, but there is no noticeable vertical displacement or evidence of significant settlement. The crack appears to be typical for this type of construction.



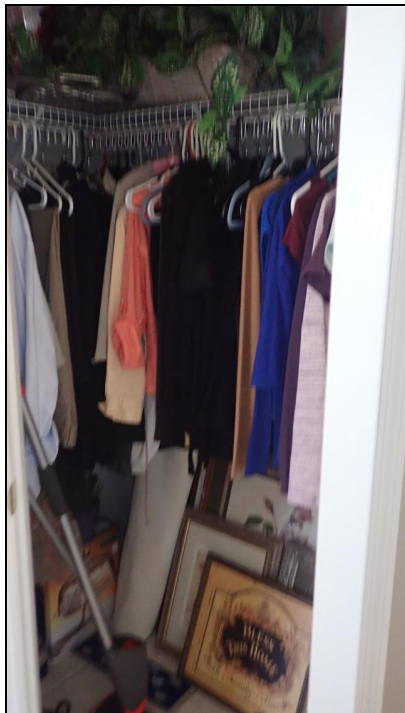
9.7 Item 1(Picture) Typical crack at garage wall

10. Interiors

10.7 CLOSET(S)

Inspected

Personal goods stored in closets prevented access to inspection of all features contained in them. We suggest further inspection of these areas during your final walk through.



10.7 Item 1(Picture) Stored items in closet



10.7 Item 2(Picture)

11. Kitchen

11.0 IMPORTANT CLIENT INFORMATION

Inspected

Maintain the caulk around the kitchen sink and countertop areas to prevent water damage.

12. Bathrooms

12.0 IMPORTANT CLIENT INFORMATION

Inspected

Maintain the caulk and grout at the tile joints in the tub and shower enclosures and around the plumbing fixtures and tub spouts to prevent moisture intrusion and damage.

12.2 WASH BASIN(S)

Inspected

The overflow drain on the wash basin is clogged. The drain should be cleared. A qualified technician could do the work.



12.2 Item 1(Picture) Clogged over flow

12.7 BATHROOM VENTILATION

Inspected

The bath vent covers and fan blades are covered with accumulated dust. Cleaning of the units will improve function.



12.7 Item 1(Picture) Clean bathroom vents

14. Lawn Sprinklers

14.1 SPRINKLER SYSTEM

Inspected

The sprinklers were operational at the time of inspection, however, typical maintenance and adjustment of the individual heads is required. Be sure that none of the heads spray on exterior house surfaces or mechanical equipment.



14.1 Item 1(Picture) Sprinklers ok



14.1 Item 2(Picture) Sprinklers ok



14.1 Item 3(Picture)

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