



Inspection Report

Property Address:
123 America St
Tampa FL



House 2 Home Inspections Services Inc.

Robert Erenberg
6225 Tigerflower Court
Land o Lakes, FL 34639

Robert Erenberg

RE

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Date: 9/27/2018	Time: 01:30 PM	Report ID: 20180927-3023-Northfield-Dr
Property: 123 America St Tampa FL	Customer:	Real Estate Professional:

Scope

This inspection is a non-invasive examination of readily accessible systems and components as outlined in the Standards of Practice of the American Society of Home Inspectors (ASHI) or your specific state standards. In compliance, our reports are subject to the Definitions, Scope, Limitations, Exceptions, and Exclusions as outlined in the Standards of Practice. A copy of the Standards of Practice may be obtained from your inspector or from the web site identified in our Inspection Agreement.

In general, home inspections include a visual examination of readily accessible systems and components to help identify material defects - as they exist at the time of the inspection. This is **not** a technically exhaustive inspection and will not necessarily list all minor home maintenance or repair items. Latent, inaccessible, or concealed defects are excluded from this inspection. Inspectors do not move furniture, appliances, personal items, or other materials that may limit his/her inspection. We do **not** report on cosmetic or aesthetic issues. Unless otherwise stated, this is **not** a code inspection. We did **not** test for environmental hazards or the presence of any potentially harmful substance.

Use of Reports

If the inspection is performed in connection with the sale, exchange or transfer of the property, copies of the report may be provided to the principals in the transaction and their agents. However, the report is for your sole information and benefit. We do not intend for anyone but the person(s) listed on this report to benefit, directly or indirectly, from this agreement and inspection report. Our contractual relationship is only to the person(s) purchasing our report/service.

Inspection Agreement

BY ACCEPTANCE OF OUR INSPECTION REPORT, YOU ARE AGREEING TO THE TERMS OF OUR INSPECTION AGREEMENT. A copy of this agreement was made available immediately after scheduling your inspection and prior to the beginning of your inspection. In addition, a copy is included on our website with your final inspection report. You should review the liability limitations and terms of the agreement carefully before accepting your inspection report. Should you discover a defect for which we may be liable to you, you must notify us and give us a reasonable opportunity to re-inspect the property before you repair the defect.

Report Definitions

The following definitions of comment descriptions represent this inspection report.

Inspected: I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected: The item was not inspected (reason for non-inspection should be noted):

Not Present: The item was not found or is not present.

Action Item: The item is not functioning as intended or needs repair or further evaluation.

Consideration Item: The item should be monitored and repair/replacement should be considered. (Includes definitions, helpful tips, recommended upgrades, conditions requiring repair due to normal wear, and conditions that have not significantly affected usability or function - but may if left unattended).

Occupancy Status:

Occupied With a Normal Amount of Interior Furnishings

Style of Home:

One Story Single Family Dwelling

Age Of Home:

16 Years

Age Determination:

Reported in Listing

Front of Structure Faces:

East

Attendees:

Client - Seller - Client's Agent

Weather:

Partly Cloudy

Temperature:

85 - 90 degrees

Precipitation:

No Rain During Inspection

Soil Condition:
Dry

Lot Topography:
Flat

1. Introductory Notes

		IN	NI
1.0	INSPECTION SCOPE	•	
1.1	IMPORTANT CLIENT INFORMATION	•	
1.2	PERMITS	•	
1.3	ENVIRONMENTAL	•	
1.4	PICTURES	•	
1.5	WALK THROUGH INFORMATION	•	
1.6	OVERALL BUILDING CONDITIONS	•	
1.7	CONCLUDING REMARKS	•	

IN= Inspected, NI= Not Inspected

IN NI

Comments:

1.0 The purpose of this inspection was to evaluate the building for function, operation and condition of its systems and components. The inspection does not include any attempt to find or list cosmetic flaws. You, the client, are the final judge of aesthetic issues. The presence of furnishings, personal items and decorations in occupied structures sometimes limits the scope of the inspection. For instance, the placement of furniture prevents access to every electrical receptacle. The presence or extent of building code or zoning violations is not the subject of this inspection nor is it included in this report. No information is offered on the legal use, or possible uses of the building or property. Information with regard to these issues may be available from the appropriate building and/or zoning agency. Important information about this property may be a matter of public record. However, a search of public records is not in the scope of this inspection. We recommend the buyer review all appropriate public records if this information is desired. **We recommend that the buyer conduct a thorough pre-closing walkthrough inspection before closing escrow.**

1.1 (1) Any deficiency discussed in this report should be carefully considered by the client and reviewed with the real estate agent as appropriate. Because a report of a deficiency is often based on the experience of the inspector using visual clues, it should be understood more extensive problems can be present which can be more costly to resolve than simply correcting the visible symptoms. Further, it is beyond the scope of this inspection to list every instance of similar deficiencies. The inspector's notation of any given deficiency should be interpreted such that additional similar defects may be present or more extensive. Any reported deficiency may require additional investigation to better determine the number of similar defects and related problems in order to make an informed decision. Consult with your inspector and/or agent to gain a comfort level about any defect cited in this report. As needed, consult an appropriate contractor who can provide a detailed list of deficiency locations, specifications and costs of repairs **before closing escrow.**

(2) Please **read the inspection report's "Action Summary"** for a detailed description of conditions that need immediate attention, and details on repairs that are likely to be costly. Also, please read the report's "Considerations Summary" for a list of definitions, helpful tips, recommended upgrades, items that should be monitored, non-critical conditions requiring repair that arise due to normal wear and tear and the passage of time and conditions that have not significantly affected usability or function - but may if left unattended.

1.3 This inspection excludes testing for any toxic or dangerous substances or gases, other than gases typically used for fuel for building heating systems. We do not test for the presence of substances including, but not limited to: mold, radon, asbestos, urea-formaldehyde foam, lead in paint, or water quality. If independent environmental testing is desired consider hiring qualified specialists for this type of work.

There have been reports that some of the drywall imported from China - especially between 2004 - 2006 may be emitting excessive amounts of hydrogen sulfide fumes and ammonia gas that can be causing damage to metals in homes and there are also health concerns. Accurate identification of drywall manufactured in China requires laboratory testing or on-site chemical analysis that is outside the scope of a general home inspection and our expertise; therefore, detecting, and/or

reporting on the existence or non-existence of Chinese drywall is beyond the scope of this inspection. Discolored/pitted metals and/or soot covered copper or a strong sulfur (rotten egg) smell in the home can be indicators of Chinese drywall, but could also have other explanations. If any such findings are noted in the report, it is done so only as a client courtesy. Irregardless of any notations in this report, it is the responsibility of the client to determine if they desire independent testing at their own expense by a qualified environmental testing company. If the home was built in the last 8 - 9 years, or if the home has undergone renovations that required the installation of new drywall within that time period, we recommend that the client obtain further information on Chinese drywall and/or contact an qualified indoor environmental contractor prior to closing.

Consumers with questions about Chinese drywall can find out more information on the regularly updated [Frequently Asked Questions](#) section on floridashealth.com or search the key words Chinese Drywall.

1.4 Any pictures included in this report are not meant to represent every defect that has been found. There may be action items that do not have a picture included. Also, pictures may represent only one example location where many similar locations exist. We suggest reading the key findings to find all of the defects that have been reported on. If you have any questions on the key findings, please contact the inspector for clarification.

1.6 Based on the inspector's observations, this building is of standard quality typical for a building this age. Typical wear and tear can be expected throughout the home consistent with the age of the home. The home needs only routine maintenance and minor repairs as described in this report.

(2) While we make an effort to identify existing as well as potential problems, it is not possible for anyone to predict future performance of all the systems and appliances in a home. Budget annually for some maintenance and repairs and you may wish to consider a home warranty to minimize the repair/replacement costs of some of the components.

Thank you for allowing me to perform your home inspection. If you have any questions about the report or, after you move in, if you EVER have any questions about your home or are performing maintenance suggestions that I have listed in the report and need additional guidance, please call me at 813-310-4103.

2. Structure

Our inspection of the structure included a visual examination of the exposed, readily accessible portions of the structure. These items were examined for visible defects, excessive wear, and general condition. Many structural components are inaccessible because they are buried below grade or are behind finished surfaces. Therefore, much of the inspection was performed by looking for visible symptoms of movement, damage and deterioration. Where there are no symptoms, conditions requiring further review or repair may go undetected and identification is not possible without destructive testing. We make no representations as to the internal conditions or stability of soils, concrete footings and foundations, except as exhibited by their performance. We cannot predict when or if foundations or roofs might leak in the future.

		IN	NI	Styles & Materials
2.0	IMPORTANT CLIENT INFORMATION	•		Foundation Type and Material: Concrete Slab
2.1	LIMITATIONS - ROOF STRUCTURE	•		Wall Structure: Masonry
2.2	ROOF STRUCTURE CONDITIONS	•		Roof Structure: Engineered Wood Trusses OSB - Oriented Strand Board
2.3	WALLS (Structural)	•		
2.4	CONCRETE SLAB CONDITION	•		

IN= Inspected, NI= Not Inspected

IN NI

Comments:

2.0 Surface finishes partially or completely cover the floor slab, so a visual evaluation of the slab is not possible.

2.1 The roof structure/framing is mostly viewed from within the attic spaces and is limited to areas that are reasonably accessible and visible from the central portions of the attic. Many areas of the eaves and soffits were concealed by low roof clearance and insulation. Some areas were inaccessible due to A/C duct and framework arrangement. Most homes have some inaccessible areas.

2.3 Masonry homes should be examined annually for any signs of developing cracks. Generally any cracks larger than hair-line cracks in which a credit card can be inserted, or newly developing cracks, should be more closely monitored or considered for professional review.

3. Exterior

Our inspection of the building exterior included a visual examination. Items are examined for defects, excessive wear, and general state of repair. Exterior wood components are randomly probed. We do not probe everywhere. Varying degrees of exterior deterioration could exist in any component. Vegetation, including trees, is examined only to the extent that it is affecting the structure. Mailboxes, posts, etc. are beyond the scope of the inspection and are not evaluated.

		IN	NI	Styles & Materials
3.2	VEGETATION	•		Cladding: Stucco
3.3	YARD AREAS, GRADING, and DRAINAGE	•		Trim Material: Wood
3.4	DRIVEWAYS, PATIO, WALKWAYS & RETAINING WALLS	•		Fascia Material: Wood
3.5	DECKS, BALCONIES, STEPS, PATIO/LANAI, RAILINGS	•		Soffit Material: Aluminum
3.7	EXTERIOR FINISHED SURFACES, FLASHING, & TRIM	•		Patio Surface: Concrete on Grade
3.8	DOORS (Exterior)	•		Driveway Surface: Concrete on Grade
3.9	WINDOWS	•		Walkway Surface: Concrete on Grade
3.10	EAVES, SOFFITS & FASCIAS	•		

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IN NI

Comments:

3.2 (1) The trees and shrubs on the property should be maintained to prevent overgrowth and encroachment onto and possible damage to the structure.



3.2 Item 1(Picture) Maintain shrubs trimmed back



3.2 Item 2(Picture) Maintain shrubs trimmed back

(2) Branches from the surrounding trees are overhanging the roof, or are in contact with the roof surface. This could damage (abrade) the roof surfaces and/or provide a route onto the roof and into the attic for insects and other pests. Nearby trees should be kept pruned.



3.2 Item 3(Picture) Trim back branches

3.3 The grading around the home is generally satisfactory at this time. Monitor and maintain the grading over time to promote drainage away from the foundation of the home.

3.5 The screens at the rear patio have signs of some type of white debris stuck to them. We recommend you have a qualified technician further evaluate and clean as needed.



3.5 Item 1(Picture) Screened in rear patio



3.5 Item 2(Picture) DEbris on screens



3.5 Item 3(Picture)

3.9

Maintain the caulk around the exterior perimeter of the window frames with a high quality caulk to prevent moisture intrusion.

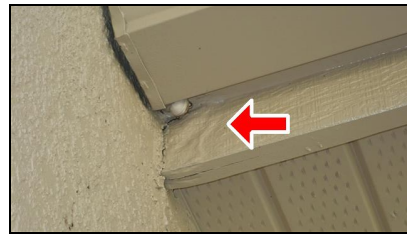
3.10 Repair the area of wood decay at the fascia boards at a few areas around the roof. We recommend you have a qualified technician further evaluate and advice. Replacement of affected materials is considered the best solution for long term performance of repair and plastic moldings are available for even better protection - (Contractor should review for additional damage and probe where suspect to insure that all damage is identified and replaced). Fillers are discouraged but are commonly used in repairs of smaller areas where replacement would be difficult. Fillers should be done by experienced tradesmen and warrantee for a reasonable length of time. Be sure to caulk, prime, and paint these areas once the repairs are complete to prevent recurrence and to match existing finishes.



3.10 Item 1(Picture) wood decay



3.10 Item 2(Picture) Wood decay



3.10 Item 3(Picture) Wood decay



3.10 Item 4(Picture) Wood decay

4. Roofing

Our inspection of the readily accessible roof system included a visual examination to determine damage or material deterioration. We walk on the roof only when it is safe to do so and is not likely to damage the roof materials. We look for evidence of roof system leaks and damage. We cannot predict when or if a roof might leak in the future.

		IN	NI	Styles & Materials
4.0	IMPORTANT CLIENT INFORMATION	•		Viewed Roof Covering From: Walked Roof
4.2	SHINGLE ROOF COVERINGS	•		Estimated Roof Covering Age: 16 years
4.5	ROOF PENETRATIONS & VENTS	•		Main Roof - Type: Combination Gable Hip
4.6	FLASHINGS	•		Roof Slope: Medium Roof Covering(s): Dimensional/Architectural Grade Asphalt/Fiberglass Shingle Valley Flashing Material: Sheet Metal Vent Flashing Material: Lead Gutters: Metal Gutters and Downspouts Partial Drainage System Patio Cover: Under the Main House Roof

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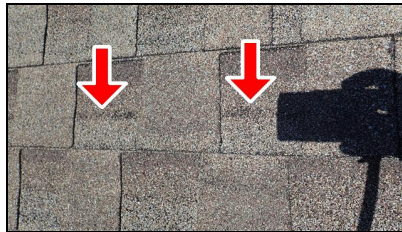
Comments:

4.0 All roof systems require annual (or even more frequent) maintenance. Failure to perform routine roof maintenance will usually result in leaks and accelerated deterioration of the roof covering and flashings.

4.2 (1) The roof surfaces are showing some signs of age and appear to be past mid life. There is typical to heavy granular loss across the roof's surface. We recommend you have a qualified roofing technician further evaluate and advice on any necessary roofing repairs.



4.2 Item 1(Picture) Roof mid life



4.2 Item 2(Picture) Granular loss



4.2 Item 3(Picture) Granular loss



4.2 Item 4(Picture)



4.2 Item 5(Picture) Heavy granular loss at gable ridge



4.2 Item 6(Picture)

(2) There are a few scattered locations on the roof surfaces where the roofing nails in the shingles were either driven in crooked when installed or have started to back out of the roof sheathing due to changes in temperature and expansion and contraction of the materials. These nails are now "popping" through the shingle surface and repair is needed to prevent water intrusion and damage. Any exposed fastener is a leak source. The only practical cure (short of replacing the affected shingles) is to hammer down the nail and seal over the exposed fasteners. A qualified roofing contractor should do the job. The sealant typically needs to be monitored and renewed as needed to lessen the likelihood of leaks.



4.2 Item 7(Picture) Nail pop

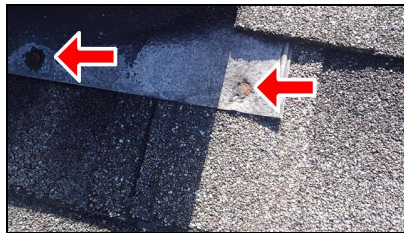


4.2 Item 8(Picture) Nail pop

4.5 The nails that attach the off ridge vent to the roof are galvanized, however, many of the nails are already rusting and corroding. I recommend the application of roofing tar or silicone caulk over these nail heads to prevent them from corroding and so they will last the life of the roof.



4.5 Item 1(Picture) Off ridge vent



4.5 Item 2(Picture) Tar over ridge vent nails



4.5 Item 3(Picture) Rusted vent nail

5. Plumbing

Our inspection of the plumbing system included a visual examination to determine defects, excessive wear, leakage, and general state of repair. Plumbing leaks can be present but not evident in the course of a normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, water quality, off site community water supply systems or private (septic) waste disposal systems unless specifically noted.

		IN	NI	Styles & Materials
5.1	LIMITATIONS - WATER SUPPLY	•		Water Source: Public
5.2	MAIN WATER SHUT-OFF DEVICE	•		Main Water Shutoff
5.3	PLUMBING WATER SUPPLY	•		Location: South exterior
5.4	PLUMBING FAUCETS & FIXTURES	•		Plumbing Water Supply
5.6	PLUMBING DRAIN, WASTE & VENT SYSTEMS	•		Material (Street or Well to Home): Copper
5.8	WATER HEATER	•		Plumbing Water
5.9	VENTS & FLUES	•		Distribution Material
5.11	FUEL STORAGE & DISTRIBUTION SYSTEMS	•		(Inside Home): CPVC
				Water Heater Power
				Source: Natural Gas
				Water Heater Capacity: 40 Gallon
				Water Heater Location: Garage
				Water Heater Age: Anticipated Service Life is 8-12 years.: 4 years
				Sewer Directed To: Municipal Sewer System
				Plumbing
				Waste/Drain/Vent Material: PVC
				Main Sewer Cleanout
				Location: Exterior
				Gas Type: Natural Gas
				Gas Shutoff Location: Meter

IN= Inspected, NI= Not Inspected

IN NI

Comments:

5.1 (1) We did not test the quality of the water supplied by the municipality. For information concerning water quality, we suggest contacting the municipality or utility company which provides the water, or have the water independently tested.

(2) During the inspection, we only operate the valves or faucets that are normally operated by the occupants in their daily use of the plumbing system. Be aware that we will not operate: (A) The main water supply shutoff (although we will report on its existence and location when accessible). (B) The temperature & pressure relief valve on the water heater (although we will note its existence and check its installation) (C) The water heater tank supply or drain valves. (D) Any stop valves supplying water to plumbing fixtures. (E) The laundry supply shutoff valves. - Any valve that is not operated on a daily basis may fail; that is, start leaking or dripping, when tested. If you want to know if seldom-used valves and faucets are functional, we

encourage you to operate them in the presence of the seller, before escrow closing. If the seller is not available for this exercise, we recommend that you have a plumber present so that he can make any repairs or replacements.

(3) Water treatment equipment (filter &/or softener) has been added to the main water delivery system. Evaluation of this equipment is outside the scope of this inspection. You should contact the company that installed or services the equipment, or if not available, contact a reputable water treatment company for evaluation and explanation of its features and benefits.



5.1 Item 1(Picture) Water softener beyond inspection

5.2 The main water shut off valve for the home is located on the South exterior side of the garage.



5.2 Item 1(Picture) Main water supply shut off valve

5.8 (1) The water heater and associated components are operational and in good condition at this time.



5.8 Item 1(Picture) Water heater
ok

(2) The temperature on the water heater is turned up past the factory setting of around 120 degrees. The time to scald is significantly reduced as the temperature setting on the unit is increased. Also, if the temperature is turned up too high, it may cause leakage from the temperature and pressure relief valve. Upon ownership, you should evaluate and adjust the temperature setting on the water heater to meet your personal needs and to maximize energy efficiency and personal safety.



5.8 Item 2(Picture) Water
temperature above 120 degrees

5.11 The gas shut off valve is at the meter on the South side of the house.



5.11 Item 1(Picture) Gas meter



5.11 Item 2(Picture) Gas meter
shut off valve

6. Electrical

Our inspection of the electrical system included a visual examination of readily accessible components including a random sampling of receptacles and switches to determine if there are adverse conditions with the wiring, grounding, bonding and over-current protection, but exact function & purpose of each switch throughout the home was not determined. Performing voltage tests, load calculations or determining the adequacy of the electrical system for future usage is outside the scope of this inspection. The main breaker panel is opened - if possible - and inspected, but no other cover plates or components were opened or disassembled. Evaluation of the telephone, data, video, audio, security system, landscape lighting or other low voltage systems, and motion or photocell lights was not included in this inspection unless specifically noted.

		IN	NI	Styles & Materials
6.1	LIMITATIONS - ELECTRIC	•		Electrical Service
6.2	SERVICE ENTRANCE CONDUCTORS	•		Conductors: Below Ground Service #2/0 Aluminum
6.3	METER & GROUNDING	•		Service Ampacity: Adequate 200 AMP Capacity by Main Shutoff
6.4	MAIN DISTRIBUTION PANEL(S)	•		Circuit Protection Type: Circuit Breakers
6.5	CIRCUIT BREAKERS	•		Branch Circuit Wiring: Copper
6.6	WIRING	•		Wiring Type(s): Romex Conduit
6.7	HVAC WIRING	•		Main Panel Location: Garage
6.8	EXTERIOR RECEPTACLES & FIXTURES	•		Main Disconnect Location: Inside Of The Main Distribution Panel
6.9	INTERIOR RECEPTACLES & FIXTURES	•		Grounding Type: Driven Rod
6.10	GFCI CONDITIONS (GROUND FAULT CIRCUIT INTERRUPTERS)	•		GFCI's Installed: Present Where Required
				Arc Fault Protection Present?: Yes

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IN NI

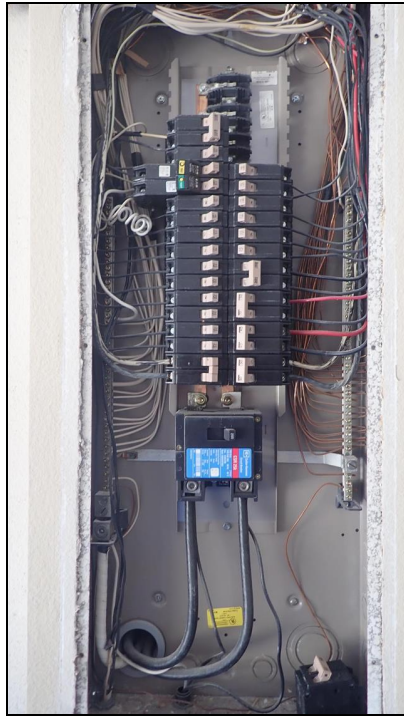
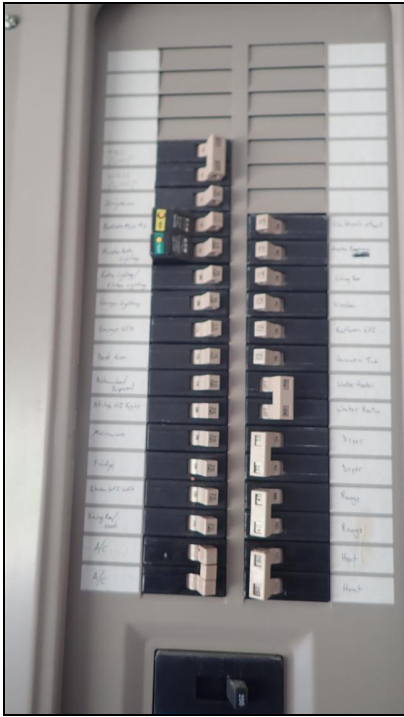
Comments:

6.1

The electric meter is the property of the local utility company and is not opened or tested.

Many times the ground wire is embedded in the stucco and/or portions of the ground wire and grounding rods are buried under ground and not visible for inspection. These components are assumed to be in place.

6.4 The breaker panel and the panel wiring were found to be in good order.



7. Heating and Cooling

Our inspection of the heating and cooling system included a visual examination of the system's major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for an appropriate temperature response. Our inspection does not include disassembly of the furnace; therefore heat exchangers are not included in the scope of this inspection. No technician service panels or covers were removed within the scope of this inspection, and the condition of internal components was not determined. The temperature differential, as we usually measure it, is, at best, an imprecise tool. It is not always an accurate indication of an air conditioning system's condition. An "abnormal" temperature differential does not always indicate a malfunctioning air conditioning system and a "normal" differential does not always indicate a properly functioning system. Ceiling fans are not typically inspected as they are not within the scope of the inspection. Testing the flow of air at each register or balance of the air flow throughout the house is beyond the scope of this inspection.

		IN	NI	Styles & Materials
7.0	IMPORTANT CLIENT INFORMATION	•		Number of Central HVAC Systems: One
7.2	AIR CONDITIONING/HEAT PUMP/CONDENSER UNIT	•		Heat Type: Electric Strip
7.3	AIR HANDLER	•		Heater Kilowatt or BTU
7.4	CONDENSATE DRAIN SYSTEM	•		Input Rating: 8 KW
7.5	TEMPERATURE DIFFERENTIAL	•		Heat System/Air Handler
7.6	HEAT SYSTEM	•		Location(s): Garage
7.7	DISTRIBUTION SYSTEM	•		Heat System/Air Handler
7.8	NORMAL OPERATING CONTROLS	•		Brand: Trane
IN= Inspected, NI= Not Inspected		IN	NI	Air Handler Age(s): New or less than 1 year
				Cooling Equipment Type: Heat Pump (air to air) Split System
				Central Air/Condenser Unit
				Brand: Trane
				Condenser Unit Age(s): New or less than 1 Year
				Cooling Equipment
				Tonnage: Five Tons
				Filter Type: Disposable

Comments:

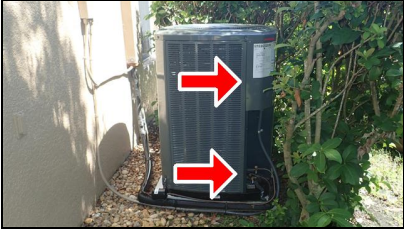
7.0 (1) HVAC systems have complex pieces of equipment. Invasive technical analysis of all components of the system is beyond the scope of this inspection. Even though there are return air filters in place, some small amounts of dirt and dust get through the filter and collect on the evaporator coils. The build-up can clog the coil and block airflow, reducing the efficiency of the system. For greatest efficiency and service life, check and change your return air filters as needed and have an HVAC technician clean the coil and perform regular maintenance once a year.

(2)

Humidity from the interior air turns into condensation on the evaporator coils inside the air handler unit during the cooling mode. This water is carried to the exterior of the home in a 3/4 inch white PVC pipe and drips into the yard areas. This pipe was dripping normally at the time of inspection. Routine maintenance of this line by inserting bleach or white vinegar in the pipe near the air handler in the spring and summer and/or flushing out the outside end of the pipe with a hose will reduce algae growth in the pipe and help to prevent blockages and overflow of the drain collection pan.

7.2 The shrubs are too close to the air conditioning condenser unit. These units require adequate airflow across the coils to efficiently exchange temperature from the warmed refrigerant as it passes through the tubing inside. Vegetation that is allowed to grow too close to or onto the condenser housing impedes airflow, and can contribute to damage and

inefficient operation of the system. Vegetation should be kept trimmed back at least 12 inches away from all sides of the condenser housing.



7.2 Item 1(Picture) Trim back shrubs

7.5 An ambient air test was performed on the cooling system to determine if the difference in temperatures of the supply and return air are between 15 degrees and 21 degrees, which indicates that the unit is cooling within industry standards. The return air temperature on the system was 78.6 degrees, and the supply air temperature was 53.4 degrees. For a temperature differential of 25.2 degrees. This indicates that the unit is **not cooling within standards** and may not be working properly. A licensed Heat/Air contractor should further evaluate the system and advise.



7.5 Item 1(Picture) Air return temperature



7.5 Item 2(Picture) Air supply temperature

7.7 The ductwork in this home is a combination of semi-rigid fiberglass distribution boxes and insulated ductwork. It appears in overall good condition where visible in the attic areas - unless otherwise noted. Testing the flow of air at each register or balance of the air flow throughout the house is beyond the scope of this inspection.

7.8 Thermostat(s) appear to be in good working order and responded properly to heat and/or cool settings. Note; Digital thermostats will usually have several custom settings & functions that can vary widely from model to model. Testing of these special features is beyond the scope of a home inspection and we made no attempt to evaluate any of these added features.

8. Attic

Our inspection of the attic included a visual examination of the readily accessible areas to look for signs of defects, water intrusion, and general state of repair. When low clearance, framing design or obstructions, deep insulation and mechanical components prohibit walking safely in an unfinished attic, inspection is conducted from the available service platforms or access openings only. Some areas are typically inaccessible due to A/C duct and truss arrangement.

		IN	NI	Styles & Materials
8.2	ATTIC ACCESS CONDITIONS	•		Method Used to Observe
8.3	ATTIC CONDITIONS	•		Attic: Entered
8.4	ATTIC INSULATION CONDITIONS	•		Attic Access: Pull Down Stairs Garage
8.5	ATTIC MOISTURE CONDITIONS	•		Attic Insulation: Blown Batt Fiberglass R-30 or Less
8.6	ATTIC VENTILATION CONDITIONS	•		Attic Ventilation: Soffit Vents Off Ridge Vents
IN= Inspected, NI= Not Inspected				Attic Inspection Limited By: Ductwork Excessive Heat Insulation Configuration of Trusses/Framing Flooring

Comments:

8.5 No leaks, stains, or moisture related issues were evident within readily visible and accessible areas.



8.5 Item 1(Picture) No stains



8.5 Item 2(Picture) No moisture stains

9. Garage

Our inspection of the garage included a visual examination of the readily accessible portions of the walls, ceilings, floors, vehicle and personnel doors, steps and stairways, fire resistive barriers, garage door openers and hardware if applicable. Sliding screen doors at the overhead garage opening or storm/screen doors at the pedestrian doorway, if present, are beyond the scope of the inspection.

		IN	NI	Styles & Materials
9.2	GARAGE OVERHEAD DOOR(S)	•		Garage Type: Attached Overhead Garage Door Type: One with automatic opener
9.4	GARAGE DOOR OPENERS	•		
9.5	GARAGE FLOOR	•		
9.6	GARAGE CEILINGS	•		
9.7	GARAGE WALLS	•		
9.8	HOUSE TO GARAGE PASSAGE DOOR	•		

IN= Inspected, NI= Not Inspected

Comments:

9.4 The garage door opener and safety return function responded properly and all related hardware appears to be in good condition. Evaluation of any remote controls and/or keyless entry system is beyond the scope of this inspection and you should obtain the units and verify operation prior to closing.

9.7 Minor cracking is evident in the garage wall, but there is no noticeable vertical displacement or evidence of significant settlement. The crack appears to be typical for this type of construction.



9.7 Item 1(Picture) Typical crack at garage wall

10. Interiors

Our inspection of the interior included a visual examination for structural and safety deficiencies. Please note that only a representative sample of accessible components was inspected. Window treatments are beyond the scope of a home inspection and were not evaluated.

		IN	NI	Styles & Materials
10.0	IMPORTANT CLIENT INFORMATION	•		Ceiling Materials: Sheetrock/Drywall/Gypsum Board
10.1	LIMITATIONS - INTERIOR	•		Wall Material: Sheetrock/Drywall/Gypsum Board
10.2	CEILINGS	•		Floor Covering(s): Carpet Tile
10.3	WALLS	•		Window Material: Painted Aluminum Frame Single Pane
10.4	FLOORS	•		Window Type/Design: Single hung
10.5	WINDOWS	•		Smoke Detectors Present: Yes
10.6	DOORS	•		
10.7	CLOSET(S)	•		
10.8	SMOKE DETECTORS/CO DETECTOR	•		

IN= Inspected, NI= Not Inspected

IN NI

Comments:

10.1 Visual inspection of the interior areas, closets, cabinets was limited by stored items and furnishings. If any significant defects are found at the pre-closing walk though, once the house has been vacated, contact me so I can evaluate the items to protect your interests.



10.1 Item 1(Picture)

10.7 Personal goods stored in closets prevented access to inspection of all features contained in them. We suggest further inspection of these areas during your final walk through.



10.7 Item 1(Picture) Stored items in closet



10.7 Item 2(Picture)

10.8 The smoke detector(s) were inspected for location and, if accessible, the units were tested by pressing and holding the test button. For future reference, testing with only the built-in test button verifies proper battery and horn function, but does not test the smoke sensor. We advise testing with simulated smoke upon occupying the building. The batteries should be replaced upon move-in & annually.

11. Kitchen

Our inspection of the kitchen included a visual examination of the readily accessible components to determine defects, excessive wear, and general state of repair. We tested basic functions of the major built-in appliances using normal operating controls. Accuracy and/or function of clocks, timers, temperature controls, special features, and self cleaning functions on ovens is beyond the scope of our testing procedure. Refrigerators or other appliances were not tested or inspected unless specifically noted.

		IN	NI	Styles & Materials
11.0	IMPORTANT CLIENT INFORMATION	•		Cabinet Finish Material: Wood
11.2	CABINETS	•		Countertop Material: Solid Surface Material (eg. Corian)
11.3	COUNTERTOP/SINK	•		Sink(s): 2 Bowls Molded Polymer
11.4	DISHWASHER	•		Garbage Disposal: In Sink Erator
11.5	GARBAGE DISPOSAL	•		Dishwasher: Frigidaire
11.6	MICROWAVE	•		Range: Electric General Electric
11.8	REFRIGERATOR	•		Built in Microwave: Microwave/Vent hood unit that recirculates air through a filter Whirlpool
11.9	RANGES/OVENS/COOKTOPS	•		Refrigerator: Whirlpool

IN= Inspected, NI= Not Inspected

Comments:

- 11.0** Maintain the caulk around the kitchen sink and countertop areas to prevent water damage.
- 11.2** All kitchen cabinetry were in satisfactory condition at the time of inspection.
- 11.3** The kitchen counter top and sink were in good condition at the time of inspection.
- 11.4** The dishwasher worked correctly at the time of inspection.
- 11.5** The disposal was in good condition and operational at the time of inspection.
- 11.6** The microwave unit was in good condition and operating properly at the time of inspection.
- 11.8** The refrigerator unit was in good condition and operational at the time of inspection.

12. Bathrooms

Our inspection of the bathrooms included a visual examination to determine if there were any active leaks, water damage, deterioration to floors and walls, proper function of components, excessive or unusual wear and general state of repair. Bathroom fixtures are run simultaneously to check for adequate water pressure and volume. Unusual bath features like steam generators or saunas are not inspected unless specifically discussed in this report.

		IN	NI	Styles & Materials
12.0	IMPORTANT CLIENT INFORMATION	•		Number of Bathrooms: Three
12.2	WASH BASIN(S)	•		Shower Wall Material: Ceramic Tiles
12.3	CABINETS/COUNTERTOP	•		Cabinet Material: Wood
12.4	TUB/SHOWER WALLS/FLOOR	•		Countertop Material: Cultured marble
12.5	SHOWER ENCLOSURE(S)	•		Bathrom Ventilation Type: Fan
12.6	SHOWER PAN(S)	•		Window
12.7	BATHROOM VENTILATION	•		
12.8	TOILET(S)	•		
12.9	BATHTUB(S)	•		
12.11	JETTED TUB	•		

IN= Inspected, NI= Not Inspected

IN NI

Comments:

12.0 Maintain the caulk and grout at the tile joints in the tub and shower enclosures and around the plumbing fixtures and tub spouts to prevent moisture intrusion and damage.

12.2 The overflow drain on the wash basin is clogged. The drain should be cleared. A qualified technician could do the work.



12.2 Item 1(Picture) Clogged over flow

12.7 The bath vent covers and fan blades are covered with accumulated dust. Cleaning of the units will improve function.



12.7 Item 1(Picture) Clean bathroom vents

12.11 The whirlpool tub was filled and turned on with the user controls. It is in adequate condition, other than any exceptions noted.



12.11 Item 1(Picture) Tub ok

13. Laundry

Complete testing of clothes washers, dryers, water valves and drains is not within the scope of this inspection. When the washer and dryer convey with the property will usually run the units through a basic cycle; however, we cannot practicably verify that the units completed each phase of the cycle properly and therefore do not warrant/guarantee their operation. We will note any significant discrepancies such as noisy operation, obvious damage, or leaks. We will also inspect the general condition of the visible water supply, drain and electric and/or gas connections and dryer vent. If present, laundry sink features will be inspected. On your final walk-through, you should examine & operate the components.

		IN	NI	Styles & Materials
13.0	IMPORTANT CLIENT INFORMATION	•		Clothes Washer: Not Inspected - not included in sale of home
13.1	CLOTHES WASHER		•	Clothes Dryer: Not Inspected - not included in sale of home
13.2	CLOTHES DRYER		•	Dryer Power Source Available: 220v Electric
13.3	CLOTHES DRYER VENT	•		Visible Clothes Dryer Vent Material: Metal
13.4	LAUNDRY/UTILITY SINK	•		

IN= Inspected, NI= Not Inspected

Comments:

13.0 The washer and dryer are not included in the sale of the home and were not tested.

13.3 The dryer vent hood on the roof is very clogged with lint which is significantly restricting the air flow and operation of any vent flap. Have a professional duct cleaning service clean the hood, and since the vent has been restricted for an unknown period of time, they should also clean the entire vent system, flexible vent hose behind the dryer, and check the vent port on the dryer itself to insure that there is proper air flow and operation of the dryer and to eliminate a fire hazard. Then, be sure to clean and maintain the lint build-up from the dryer vent hood on a regular basis (time between cleaning depends on individual use) to allow proper air flow and operation of the dryer. Improper maintenance of the dryer vent hood can create a fire hazard



13.3 Item 1(Picture) Clean dryer vent hood



13.3 Item 2(Picture) Clean dryer vent hood

14. Lawn Sprinklers

Our inspection of the sprinkler system included a visual examination to verify basic function of the system. We do not evaluate sprinkler head coverage, operation of every head, nor function of drip irrigation systems. Typically, sprinkler systems need some minor adjustments and/or have some degree of clogged heads. The sprinkler system was operated by manual zone settings at the timer only. Digital sprinkler system timers/control consoles have several options, features, and functions but testing of the features of the timer is beyond the scope of this inspection. Rain override sensors are required on most systems and evaluation of these units is also beyond the scope of this inspection. Well and/or pump systems and their components are only evaluated to the extent that they provide water to the irrigation system. Evaluation of water quality is beyond the scope of the inspection. Underground leaks can be present but not evident in the course of a normal inspection.

		IN	NI	Styles & Materials
14.0	LIMITATIONS - SPRINKLERS	•		Irrigation Water Source: Well
14.1	SPRINKLER SYSTEM	•		Timer Location: Garage
IN= Inspected, NI= Not Inspected		IN	NI	Number of Zones: Five

Comments:

- 14.0 Regular routine maintenance of irrigation system should be anticipated and performed. Maintaining the sprinkler heads and monitoring for proper coverage will ensure peak performance of the system.
- 14.1 The sprinklers were operational at the time of inspection, however, typical maintenance and adjustment of the individual heads is required. Be sure that none of the heads spray on exterior house surfaces or mechanical equipment.



14.1 Item 1(Picture) Sprinklers ok



14.1 Item 2(Picture) Sprinklers ok



14.1 Item 3(Picture)

Action Items



House 2 Home Inspections Services Inc.

**6225 Tigerflower Court
Land o Lakes, FL 34639**

Customer

Address
123 America St
Tampa FL

1. Introductory Notes

1.6 OVERALL BUILDING CONDITIONS

Inspected

Based on the inspector's observations, this building is of standard quality typical for a building this age. Typical wear and tear can be expected throughout the home consistent with the age of the home. The home needs only routine maintenance and minor repairs as described in this report.

3. Exterior

3.10 EAVES, SOFFITS & FASCIAS

Inspected

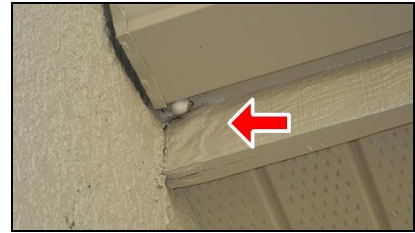
Repair the area of wood decay at the fascia boards at a few areas around the roof. We recommend you have a qualified technician further evaluate and advice. Replacement of affected materials is considered the best solution for long term performance of repair and plastic moldings are available for even better protection - (Contractor should review for additional damage and probe where suspect to insure that all damage is identified and replaced). Fillers are discouraged but are commonly used in repairs of smaller areas where replacement would be difficult. Fillers should be done by experienced tradesmen and warrantee for a reasonable length of time. Be sure to caulk, prime, and paint these areas once the repairs are complete to prevent recurrence and to match existing finishes.



3.10 Item 1(Picture) wood decay



3.10 Item 2(Picture) Wood decay



3.10 Item 3(Picture) Wood decay



3.10 Item 4(Picture) Wood decay

4. Roofing

4.2 SHINGLE ROOF COVERINGS

Inspected

(2) There are a few scattered locations on the roof surfaces where the roofing nails in the shingles were either driven in crooked when installed or have started to back out of the roof sheathing due to changes in temperature and expansion and contraction of the materials. These nails are now "popping" through the shingle surface and repair is needed to prevent water intrusion and damage. Any exposed fastener is a leak source. The only practical cure (short of replacing the affected shingles) is to hammer down the nail and seal over the exposed fasteners. A qualified roofing contractor should do the job. The sealant typically needs to be monitored and renewed as needed to lessen the likelihood of leaks.



4.2 Item 7(Picture) Nail pop



4.2 Item 8(Picture) Nail pop

13. Laundry

13.3 CLOTHES DRYER VENT

Inspected

The dryer vent hood on the roof is very clogged with lint which is significantly restricting the air flow and operation of any vent flap. Have a professional duct cleaning service clean the hood, and since the vent has been restricted for an unknown period of time, they should also clean the entire vent system, flexible vent hose behind the dryer, and check the vent port on the dryer itself to insure that there is proper air flow and operation of the dryer and to eliminate a fire hazard. Then, be sure to clean and maintain the lint build-up from the dryer vent hood on a regular basis (time between cleaning depends on individual use) to allow proper air flow and operation of the dryer. Improper maintenance of the dryer vent hood can create a fire hazard



13.3 Item 1(Picture) Clean dryer vent hood



13.3 Item 2(Picture) Clean dryer vent hood

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Consideration Items



House 2 Home Inspections Services Inc.

**6225 Tigerflower Court
Land o Lakes, FL 34639**

Customer

Address
123 America St
Tampa FL

1. Introductory Notes

1.1 IMPORTANT CLIENT INFORMATION

Inspected

(1) Any deficiency discussed in this report should be carefully considered by the client and reviewed with the real estate agent as appropriate. Because a report of a deficiency is often based on the experience of the inspector using visual clues, it should be understood more extensive problems can be present which can be more costly to resolve than simply correcting the visible symptoms. Further, it is beyond the scope of this inspection to list every instance of similar deficiencies. The inspector's notation of any given deficiency should be interpreted such that additional similar defects may be present or more extensive. Any reported deficiency may require additional investigation to better determine the number of similar defects and related problems in order to make an informed decision. Consult with your inspector and/or agent to gain a comfort level about any defect cited in this report. As needed, consult an appropriate contractor who can provide a detailed list of deficiency locations, specifications and costs of repairs before closing escrow.

1.4 PICTURES

Inspected

Any pictures included in this report are not meant to represent every defect that has been found. There may be action items that do not have a picture included. Also, pictures may represent only one example location where many similar locations exist. We suggest reading the key findings to find all of the defects that have been reported on. If you have any questions on the key findings, please contact the inspector for clarification.

3. Exterior

3.2 VEGETATION

Inspected

(1) The trees and shrubs on the property should be maintained to prevent overgrowth and encroachment onto and possible damage to the structure.



3.2 Item 1(Picture) Maintain shrubs trimmed back



3.2 Item 2(Picture) Maintain shrubs trimmed back

(2) Branches from the surrounding trees are overhanging the roof, or are in contact with the roof surface. This could damage (abrade) the roof surfaces and/or provide a route onto the roof and into the attic for insects and other pests. Nearby trees should be kept pruned.



3.2 Item 3(Picture) Trim back branches

3.5 DECKS, BALCONIES, STEPS, PATIO/LANAI, RAILINGS

Inspected

The screens at the rear patio have signs of some type of white debris stuck to them. We recommend you have a qualified technician further evaluate and clean as needed.



3.5 Item 1(Picture) Screened in rear patio



3.5 Item 2(Picture) DEbris on screens



3.5 Item 3(Picture)

3.9 WINDOWS

Inspected

Maintain the caulk around the exterior perimeter of the window frames with a high quality caulk to prevent moisture intrusion.

4. Roofing

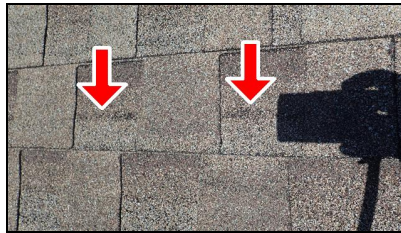
4.2 SHINGLE ROOF COVERINGS

Inspected

(1) The roof surfaces are showing some signs of age and appear to be past mid life. There is typical to heavy granular loss across the roof's surface. We recommend you have a qualified roofing technician further evaluate and advice on any necessary roofing repairs.



4.2 Item 1(Picture) Roof mid life



4.2 Item 2(Picture) Granular loss



4.2 Item 3(Picture) Granular loss



4.2 Item 4(Picture)



4.2 Item 5(Picture) Heavy granular loss at gable ridge



4.2 Item 6(Picture)

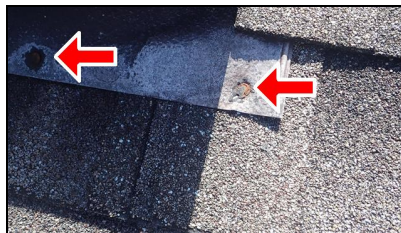
4.5 ROOF PENETRATIONS & VENTS

Inspected

The nails that attach the off ridge vent to the roof are galvanized, however, many of the nails are already rusting and corroding. I recommend the application of roofing tar or silicone caulk over these nail heads to prevent them from corroding and so they will last the life of the roof.



4.5 Item 1(Picture) Off ridge vent



4.5 Item 2(Picture) Tar over ridge vent nails



4.5 Item 3(Picture) Rusty vent nail

5. Plumbing

5.1 LIMITATIONS - WATER SUPPLY

Inspected

(3) Water treatment equipment (filter &/or softener) has been added to the main water delivery system. Evaluation of this equipment is outside the scope of this inspection. You should contact the company that installed or services the

equipment, or if not available, contact a reputable water treatment company for evaluation and explanation of its features and benefits.



5.1 Item 1(Picture) Water softener beyond inspection

5.8 WATER HEATER

Inspected

(2) The temperature on the water heater is turned up past the factory setting of around 120 degrees. The time to scald is significantly reduced as the temperature setting on the unit is increased. Also, if the temperature is turned up too high, it may cause leakage from the temperature and pressure relief valve. Upon ownership, you should evaluate and adjust the temperature setting on the water heater to meet your personal needs and to maximize energy efficiency and personal safety.



5.8 Item 2(Picture) Water temperature above 120 degrees

7. Heating and Cooling

7.0 IMPORTANT CLIENT INFORMATION

Inspected

(1) HVAC systems have complex pieces of equipment. Invasive technical analysis of all components of the system is beyond the scope of this inspection. Even though there are return air filters in place, some small amounts of dirt and dust get through the filter and collect on the evaporator coils. The build-up can clog the coil and block airflow, reducing the efficiency of the system. For greatest efficiency and service life, check and change your return air filters as needed and have an HVAC technician clean the coil and perform regular maintenance once a year.

(2)

Humidity from the interior air turns into condensation on the evaporator coils inside the air handler unit during the cooling mode. This water is carried to the exterior of the home in a 3/4 inch white PVC pipe and drips into the yard areas. This pipe was dripping normally at the time of inspection. Routine maintenance of this line by inserting bleach or white vinegar in the pipe near the air handler in the spring and summer and/or flushing out the outside end of the pipe with a hose will reduce algae growth in the pipe and help to prevent blockages and overflow of the drain collection pan.

7.2 AIR CONDITIONING/HEAT PUMP/CONDENSER UNIT

Inspected

The shrubs are too close to the air conditioning condenser unit. These units require adequate airflow across the coils to efficiently exchange temperature from the warmed refrigerant as it passes through the tubing inside. Vegetation that is allowed to grow too close to or onto the condenser housing impedes airflow, and can contribute to damage and inefficient operation of the system. Vegetation should be kept trimmed back at least 12 inches away from all sides of the condenser housing.



7.2 Item 1(Picture) Trim back shrubs

9. Garage

9.4 GARAGE DOOR OPENERS

Inspected

The garage door opener and safety return function responded properly and all related hardware appears to be in good condition. Evaluation of any remote controls and/or keyless entry system is beyond the scope of this inspection and you should obtain the units and verify operation prior to closing.

9.7 GARAGE WALLS

Inspected

Minor cracking is evident in the garage wall, but there is no noticeable vertical displacement or evidence of significant settlement. The crack appears to be typical for this type of construction.



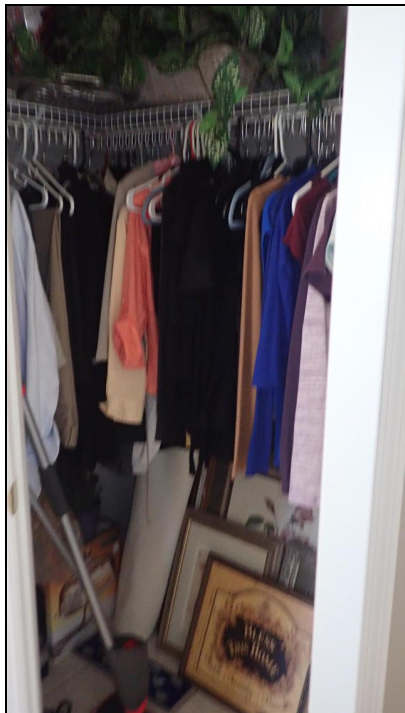
9.7 Item 1(Picture) Typical crack at garage wall

10. Interiors

10.7 CLOSET(S)

Inspected

Personal goods stored in closets prevented access to inspection of all features contained in them. We suggest further inspection of these areas during your final walk through.



10.7 Item 1(Picture) Stored items in closet



10.7 Item 2(Picture)

11. Kitchen

11.0 IMPORTANT CLIENT INFORMATION

Inspected

Maintain the caulk around the kitchen sink and countertop areas to prevent water damage.

12. Bathrooms

12.0 IMPORTANT CLIENT INFORMATION

Inspected

Maintain the caulk and grout at the tile joints in the tub and shower enclosures and around the plumbing fixtures and tub spouts to prevent moisture intrusion and damage.

12.2 WASH BASIN(S)

Inspected

The overflow drain on the wash basin is clogged. The drain should be cleared. A qualified technician could do the work.



12.2 Item 1(Picture) Clogged over flow

12.7 BATHROOM VENTILATION

Inspected

The bath vent covers and fan blades are covered with accumulated dust. Cleaning of the units will improve function.



12.7 Item 1(Picture) Clean bathroom vents

14. Lawn Sprinklers

14.1 SPRINKLER SYSTEM

Inspected

The sprinklers were operational at the time of inspection, however, typical maintenance and adjustment of the individual heads is required. Be sure that none of the heads spray on exterior house surfaces or mechanical equipment.



14.1 Item 1(Picture) Sprinklers ok



14.1 Item 2(Picture) Sprinklers ok



14.1 Item 3(Picture)

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INVOICE



House 2 Home Inspections Services Inc.
6225 Tigerflower Court
Land o Lakes, FL 34639
Inspected By: Robert Erenberg

Inspection Date: 9/27/2018
Report ID: 20180927-3023-Northfield-Dr

Customer Info:	Inspection Property:
Customer's Real Estate Professional:	123 America St Tampa FL

Inspection Fee:

Service	Price	Amount	Sub-Total
2,000 - 2,500 sq. ft.	400.00	1	400.00
Wind Mitigation	85.00	1	85.00

Tax \$0.00
Total Price \$485.00

Payment Method:
Payment Status:
Note:



House 2 Home Inspections Services Inc.

**6225 Tigerflower Court
Land o Lakes, FL 34639**

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.

[Florida Wind Mitigation Form - 2012](#)